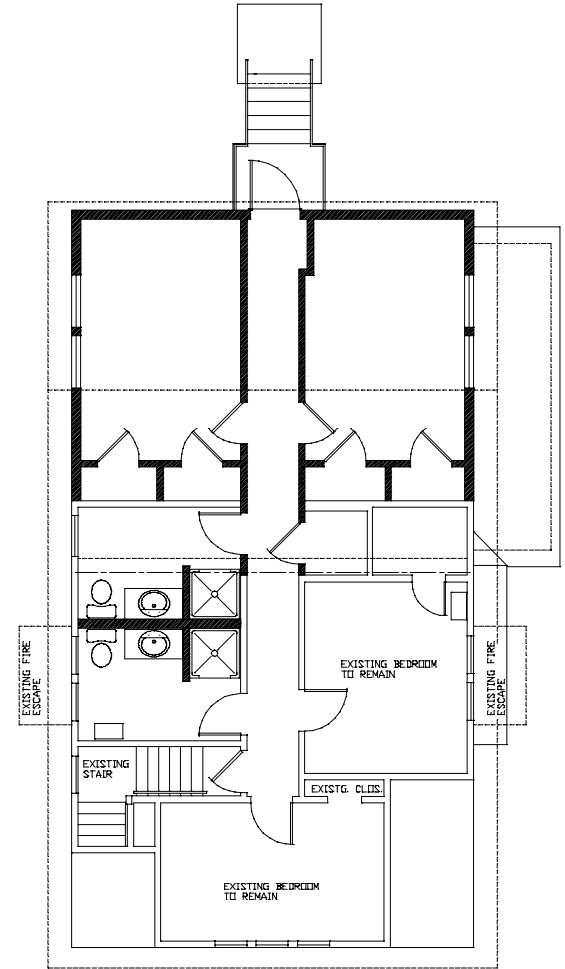
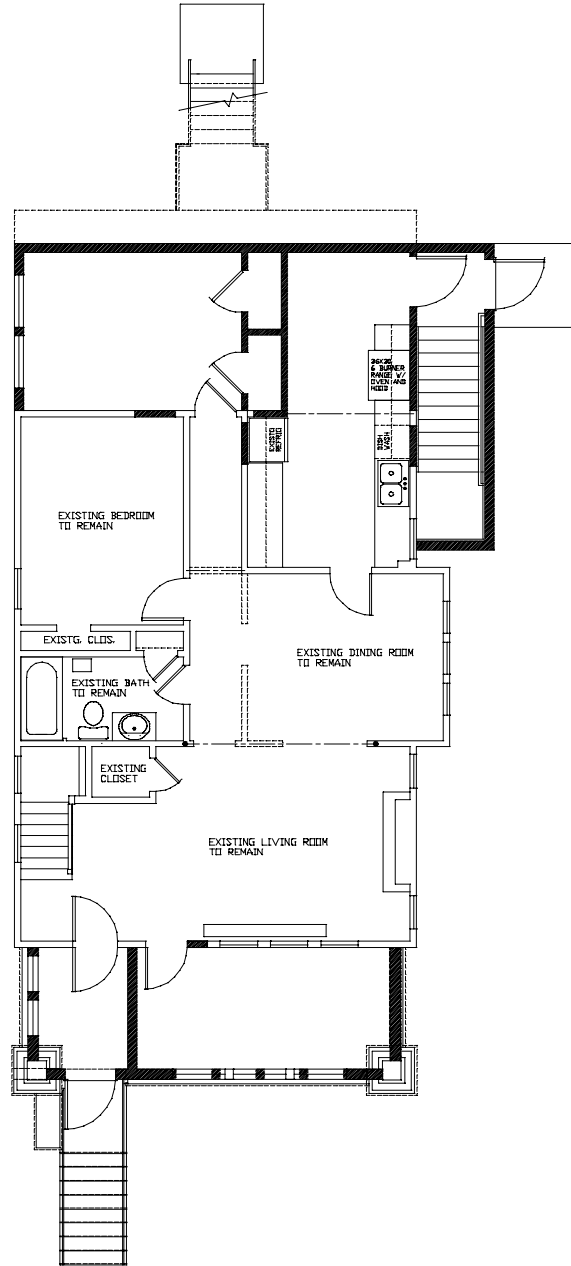
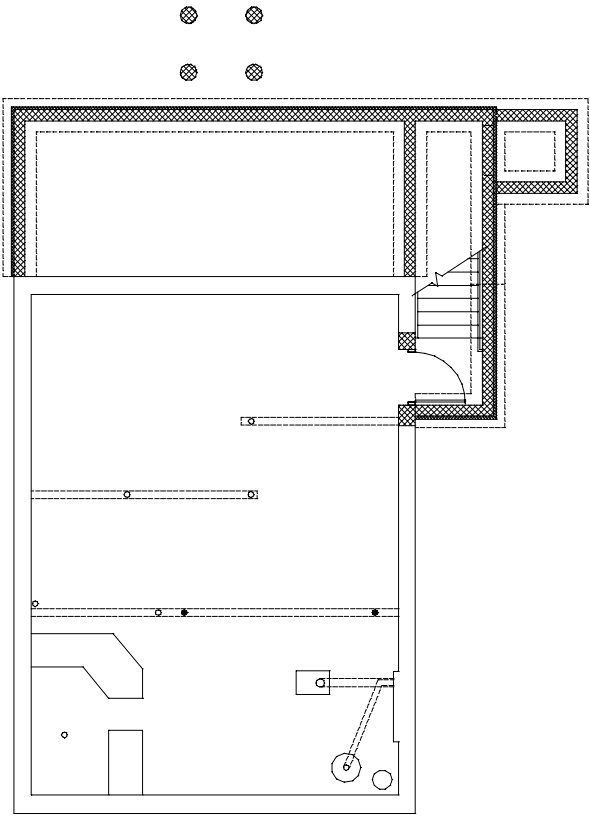


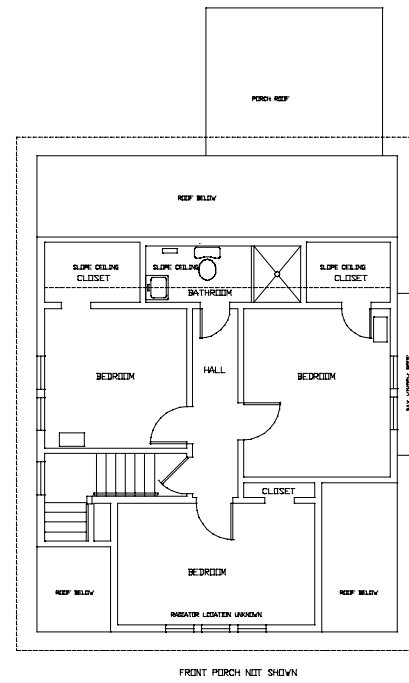
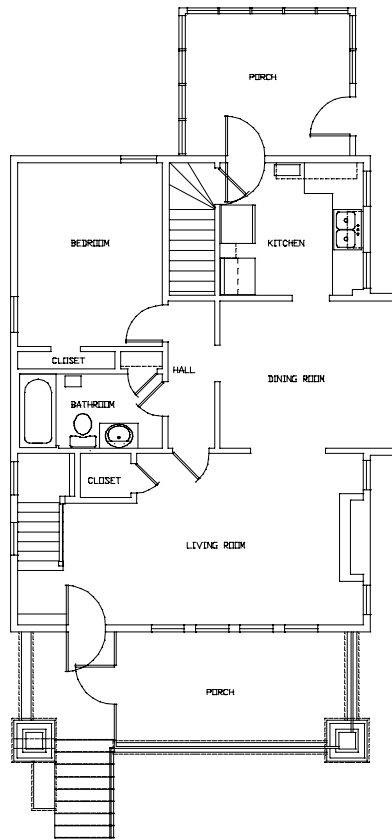
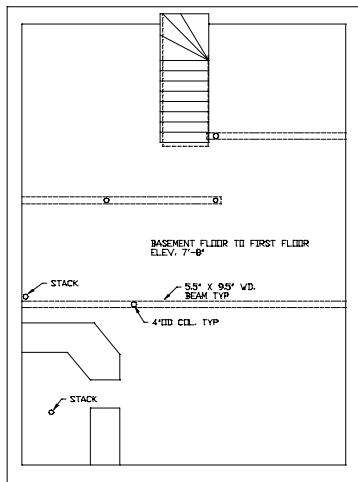
ADDITION AND RENOVATIONS FOR  
 PSI UPSILON  
 FRATERNITY  
 2140 BURDETT AVENUE  
 TROY NEW YORK

E.S. FINKLE ARCHITECT  
 22 TWENTY-FOURTH STREET  
 TROY, NEW YORK 12180

NOVEMBER 30, 2000

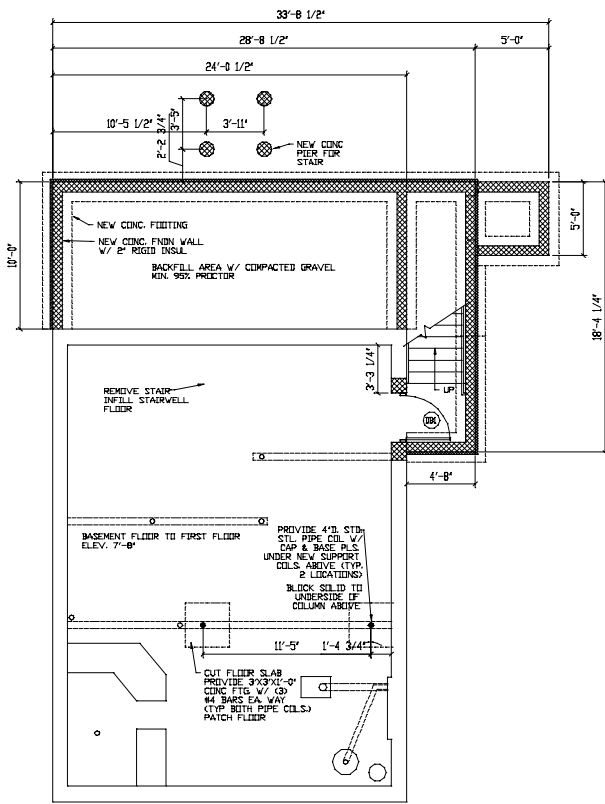


FRONT PORCH NOT SHOWN

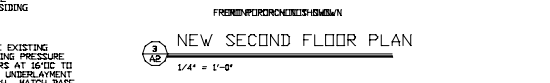
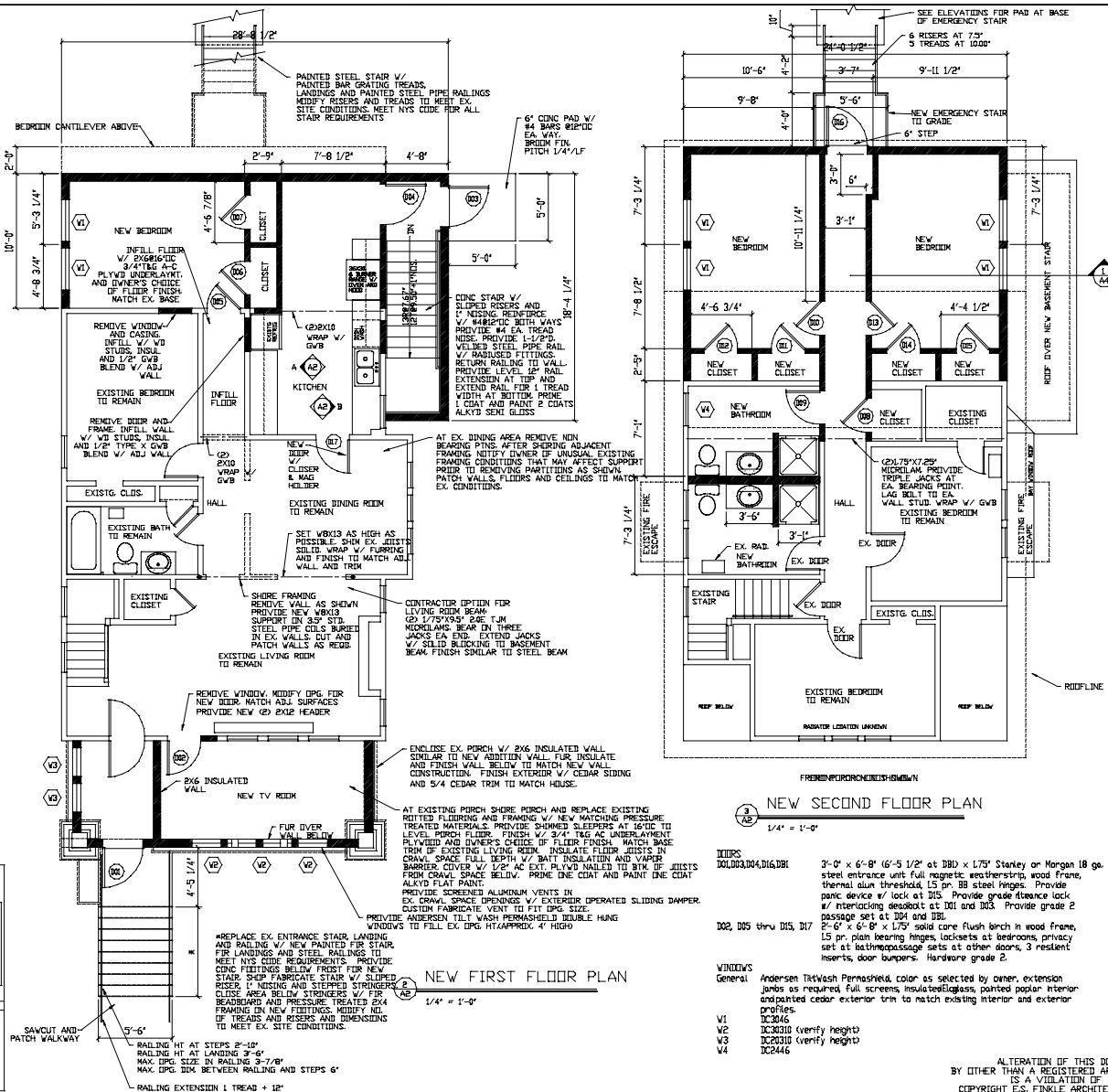
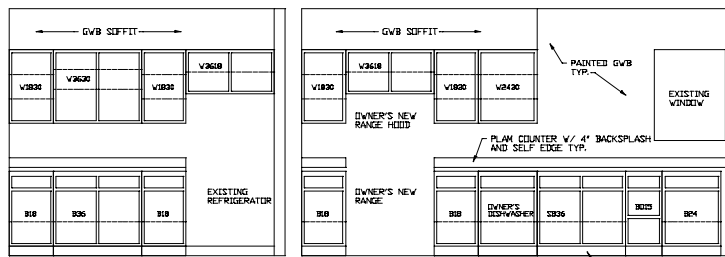


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E.S. FINKLE ARCHITECT 89 FOURTH STREET TROY NY 12180 PH: 518-271-6416 FAX: 518-271-9162	DATE 11-30-00 SCALE AS NOTED REVISIONS	ADDITION AND RENOVATIONS AT PSI UPSILON FRATERNITY 2140 BURDETT AVENUE TROY NEW YORK	A-1
	EXISTING FLOOR PLANS		



NOTE: COMPLY WITH RECOMMENDATIONS CONTAINED IN SOILS INVESTIGATION REPORT DATED 10/28/98 AS PREPARED BY VERNON KETMAN P.E. A COPY OF THE REPORT IS AVAILABLE FROM THE OWNER.



- DOORS  
30, 302, 304, 316, 318  
3'-0" x 6'-8" (6'-5 1/2" at D00 x 1/2") Stanley or Morgan 18 ga. 6 panel insul. steel entrance unit full magnetic weatherstrip, wood frame, thermal alum threshold, 15 pr. 88 steel hinges. Provide panic device w/ lock at D05. Provide grade release lock w/ interlocking deadbolt at D01 and D03. Provide grade 2 passage set at D04 and D01.
- DO2, D05 thru D03, D07  
3'-6" x 6'-8" x 1/2" solid core flush birch in wood frame, 15 pr. plain bearing hinges, locksets at bedrooms, privacy set at bathroom, passage sets at other doors, 3 resilient inserts, door bumpers. Hardware grade 2.
- WINDOWS  
General  
Andersen tilt/wash Permasield, color as selected by owner, extension jambs as required, full screens, insulated glass, painted poplar interior and painted cedar exterior trim to match existing interior and exterior profiles.  
V1 IC3046  
V2 IC3030 (verify height)  
V3 IC3030 (verify height)  
V4 IC2446

E.S. FINKLE  
ARCHITECT  
89 FOURTH STREET  
TROY NY 12180  
PH: 518-871-6416  
FAX: 518-871-9168

DATE 11-30-00  
SCALE AS NOTED  
REVISIONS

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ADDITION AND RENOVATIONS AT  
**PSI Upsilon FRATERNITY**  
2140 BURDETT AVENUE TROY NEW YORK

PROPOSED FLOOR PLANS

OUTLINE SPECIFICATION

- Special Conditions**
- The construction period will begin one week after Rensselaer Polytechnic Institute 2001 graduation on May 15, 2001, whichever comes first. The contractor is required to obtain the certificate of occupancy (CO) to allow occupancy by the Fraternity membership for the Fall 2001 semester. All work except minor punchlist work must be completed prior to 8/20/01.
  - Should the Contractor fail to complete all work in accordance with the work schedule detailed in Special Conditions notes, within such extended time as may be allowed, the Contractor shall be liable to the Lerner in the amount of five hundred dollars (\$500.00) for each calendar day of overrun in the Contract time or such extended times may have been allowed. The amount will be deducted from the Contract sum, not as a penalty but as liquidated damages.

Permitting the Contractor to continue and finish the work on any part of it after the time fixed for its completion or after the time which the time for completion may have been extended will in no way operate as a waiver on the part of the Lerner of any of its rights under the Contract.

**General**

- All work shall comply with applicable requirements of the New York State Uniform Fire Prevention and Building Code, latest edition and local rules and regulations.
- To the best of our knowledge the architectural work is designed in accordance with applicable requirements of the NYS Energy Conservation Construction Code.
- Obtain and pay for a building permit and certificate of occupancy for this project. Forward copies to the owner.
- Perform all removals and relocations required in connection with this work. Share existing structural elements during removals and relocations to avoid damage or collapse of the existing structure. Comply with applicable state and federal requirements for handling, removal and off-site disposal of all hazardous materials encountered during the work, including but not necessarily limited to asbestos and lead based paint.
- Comply with requirements and recommendations contained in the Geotechnical Report as prepared by Vermon Hoffman, PE and dated October 28, 1998. A copy of the report is available for review from the Lerner.
- Dispose of all construction debris off site in an approved manner.
- Comply with applicable requirements of the National Forest Products Association Manual of House Framing.
  - Heads: 2x12 with single jacks for openings up to 5' wide.
  - 2-175x12 microlams with double jacks for openings over 5' to 10'-0".
  - Provide 2" rigid insulation at inside face exterior headers.

- Framing shall be SPF #2 surface dry unless noted. Provide A0 pressure treated SYP for lumber in contact with concrete, masonry or grade. Sheathing shall be APA rated plywood, minimum 1/2" thick (5/8" at roof) or as noted.
- Concrete shall be minimum 3000 psi at 28 days for walls and footings; 4000 psi for slabs on grade. For exteriors provide 4000 psi concrete, crushed stone aggregate, 4.0% air entrained, with fibermesh reinforcement and no 60W4xW4 adm. Provide sanded contraction joints in new basement slabs at 60" on center each way.
- All exterior and interior finish material colors shall be as selected by the owner. Match existing interior base, door and window trim profiles and sizes with clear Pazar, painted. Mop-up paint finishes are latex or equal best grade. 2 coats latex semi gloss over alkyl primer for exterior work and for interior doors, windows and trim and one coat latex flat (eggshell at baths and kitchen) over primer for all interior gypsum board and wall patch areas. Where walls are patched prime and paint entire wall and related trim. Aluminum star provide three coat epoxy glass finish system.
- Mount window heads at 6" above finished floor unless noted otherwise. Exceptions and special conditions are shown on plans. All glass shall be insulated Low-E. Provide tempered annealed Low E glass at door glazing, sidelites and all windows with sills at 18" or less above finished floor, and as otherwise required by local codes and ordinances. All windows shall be Anderson Farnsworth tilt wash double hung with extension jambs, regular grids, full screens, lead insulated glass.
- Stair construction: Shop fabricated, min. 100 psf loading per tread. Exterior stairs at rear exit welded steel construction w/ primer plus two coats alkyl gloss paint; 12" channel stringers, heelboard grating treads, closed sloped risers; 12" schedule 40 pipe railings with mesh inserts. Exterior stairs at front porch painted SPS fr. with closed sloped risers with fir heelboard closure on A0 pressure treated SYP 2x framing, with handrails and newel posts to meet NYS Code. All stair components, dimensions and riser/tread ratios shall meet NYS Code. Railing style and material as selected by owner. Provide concrete footings below frost for all exterior stairs. At closets provide full length shelf and 1" schedule 40 steel pipe rod full width.
- All cabinets, tops and equipment as selected by owner and as provided by Troy Cabinet Mfg. Co. or approved equal. Provide 2x4 frames, 1/2" GVR soffits over all cabinets unless noted.
- Diagonals shown are to face of (E.D.) sheathing (frame walls w/o veneer), face of brick at brick veneer walls, face of interior partitions and centerlines of windows or window groups.
- Exterior wall studs typically 2x6 @ 16" oc unless noted. Internally typically 2x4 studs @ 16" oc unless noted.
- Caulk all window and door perimeters and other wall penetrations with colored silicone sealant and backer rod. Provide fiberglass sill sealer under exterior sill plate.

- At each bathroom provide accessories as follows (Bradley or All): Chrome plated brass toilet paper holder, 36"x36" mirror with stainless steel channel frame and security mounting bracket, (2) 36" x18 ga. stainless steel towel bars. Provide solid concealed blocking for accessories.

**Mechanical General Note**

- All mechanical, plumbing and electrical work required for this project shall be provided by licensed contractors in accordance with applicable national, NYS and local codes, rules and regulations.
- Obtain and pay for plumbing, heating and electrical permits and inspections.
- Forward copies of permits and inspection certificates to the owner.
- Instruct the owner in the proper operation and maintenance of mechanical, plumbing and electrical equipment.

**Heating**

- Modify and expand the existing heating and ventilating systems to accommodate the new work. Provide separate zones as shown. Provide system complete with all accessories, safety devices, ductwork, piping and temperature control system. Installation shall comply with applicable state and local requirements. System shall maintain temperatures in accordance with NYS Energy Code.
- Piping: Type M copper, soldered fittings.
- Hot water heaters: Provide new unit as shown, A.I. Smith 10 year Energy Saver Gas Fired PGC-75, 75 gallon.
- Flue: Insulated stainless steel. Size per water heater manufacturer's recommendations.
- Hot water baseboard: Weil-McLain Thermo-trim or equal, minimum 600 BTU/LF at 180°F entering water temperature.

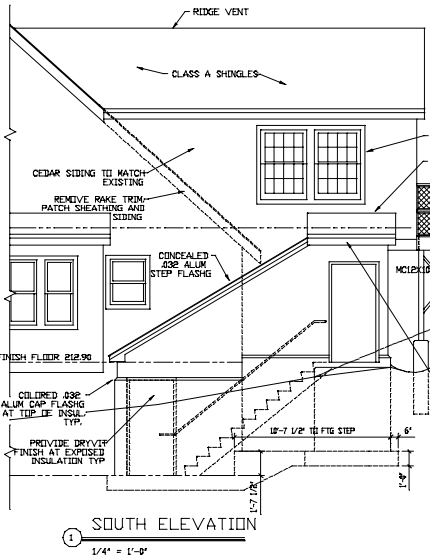
**Plumbing**

- Modify plumbing system supply and drainage to accommodate new work in compliance with national, state and local codes. All piping in finished areas shall be concealed.
- Above grade waste and vent piping within building - Hub cast iron, service weight except schedule 40 PVC may be used if permitted by local and state code.
- Above grade water supply piping within building - Type L copper, soldered fittings. Provide shut off valves at each fixture and at supply and return for each piece of equipment. Provide units to allow future servicing.
- Pitch supply piping to drain valve in basement to allow draining of system.
- Insulate all basement and crawl space piping and all cold water piping throughout with fiberglass insulation with all purpose jacket to meet NYS Energy Code.
- Minimum supply pipe size to each fixture is 1/2". Provide 3/4" supplies to whirlpool tubs and similar items.
- All plumbing fixtures shall be Kohler or American Standard unless noted. At kitchen provide Elay double bowl 18 stainless steel sink, min. 7" depth, 1/2" PIP GC disposal in one bowl, Delta chrome plated brass single lever faucet w/ separate spray, 17 ga. chrome plated brass trap, strainer w/ crumb cup. At both rooms provide white Lasco fiberglass shower stalls w/ 36"x60" two integral soap shelves.

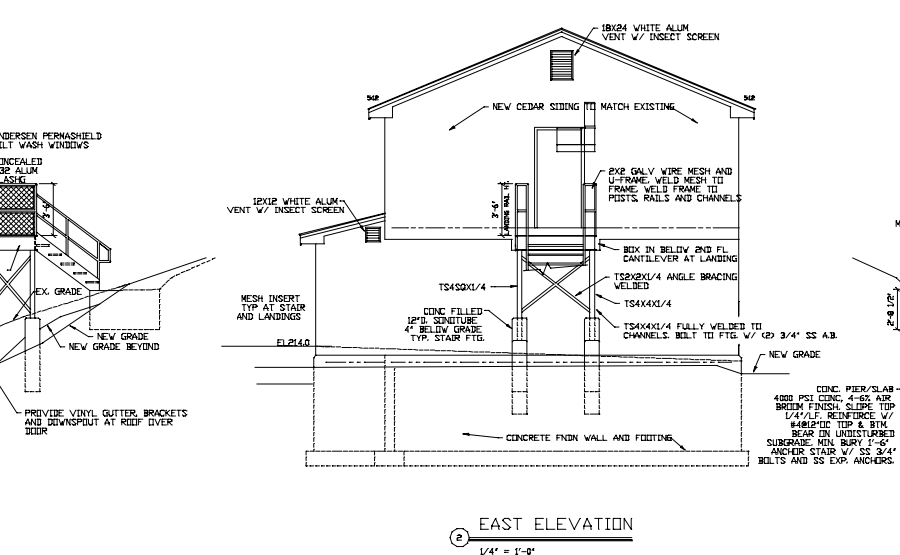
chrome plated grid drain unit, tempered glass door and Specman single lever thermostatically balanced chrome plated brass control w/ matching Specman 25 pin chrome plated brass adjustable pattern shower head, brass shower pan. Provide white Kohler Wellworth pressure assisted 1.6 gal. water closet w/ elongated bowl seat, max. ring solid plastic seat w/ cover, chrome plated angle stop. Provide Kohler Farmington white enameled cast iron lavatory with Delta chrome plated brass single lever lavatory faucet w/ popup drain and 17 ga. chrome plated brass trap.

**Electrical**

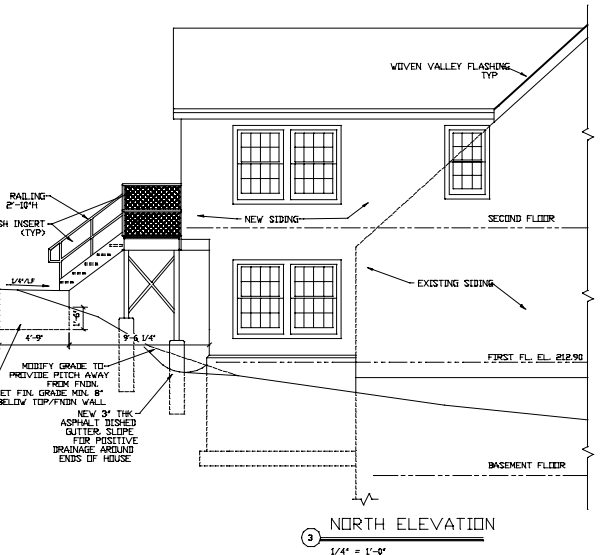
- All work shall comply with the National Electrical Code, latest edition and local requirements.
- All wiring shall be copper, minimum #12 AWG with grade insulated per code.
- All wiring shall be concealed. Minimum circuit breaker size 20A/1P.
- All fixtures, devices and equipment shall be UL listed, specification grade. All receptacles, switches and cover plates shall have ivory color.
- Coordinate fixture selections and locations with owner. Include minimum 670 per fixture allowance in bid. Allowance is for net fixture cost exclusive of delivery, handling and installation.
- Provide wiring for telephones, cable TV and cable internet. Coordinate cable TV wiring and wiring for cable internet access with local cable company. Coordinate locations with owner.
- Provide power wiring for exhaust fans and all mechanical equipment.
- Modify and expand existing electrical service to accommodate new loads.
- Provide emergency and exit lights w/ battery backup in locations shown. Fixtures shall be Lithonia with thermoplastic housings and universal mounting kits.



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



3 NORTH ELEVATION  
1/4" = 1'-0"

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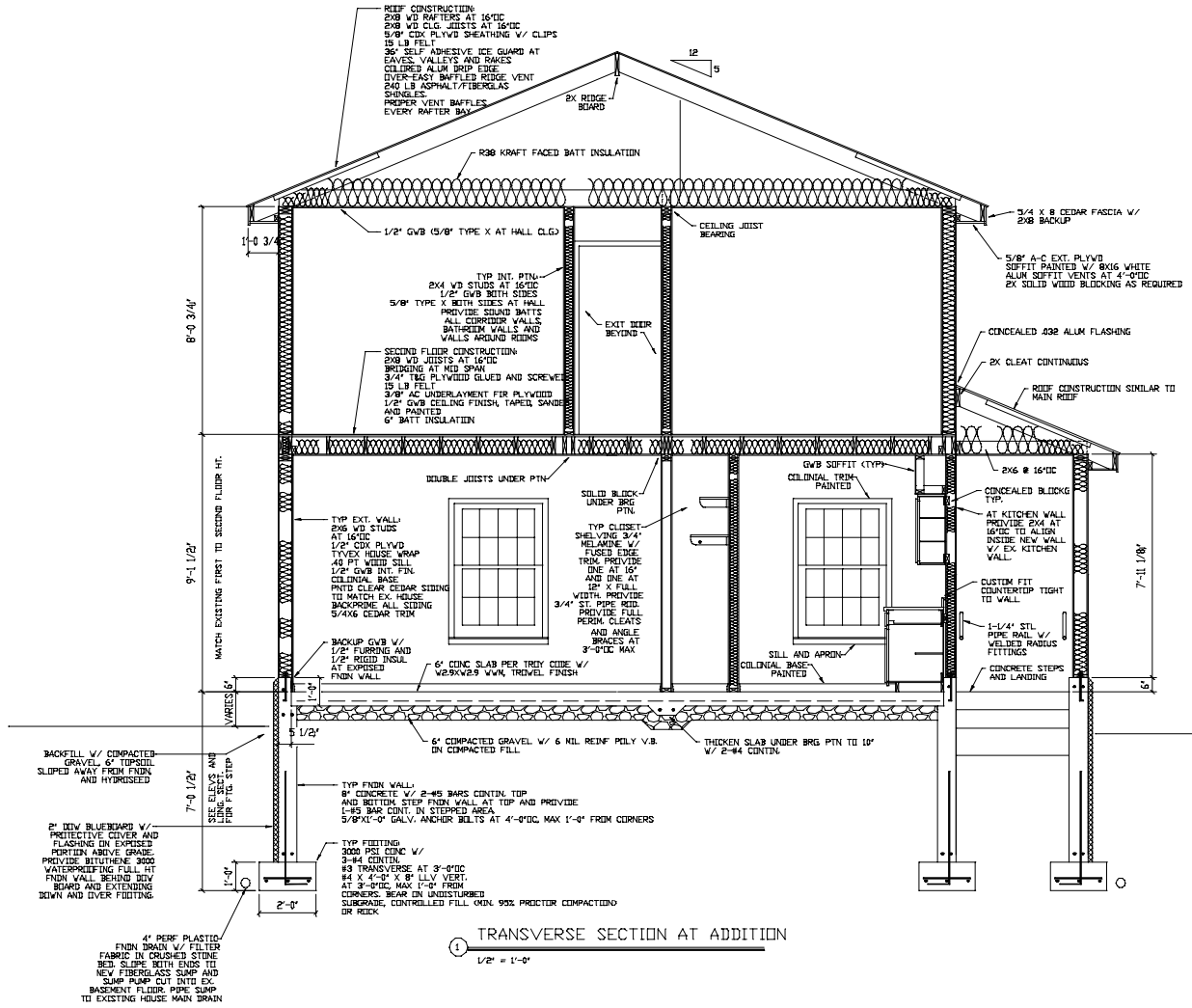
E.S. FINKLE ARCHITECT  
89 FOURTH STREET  
TROY NY 12180  
PH. 518-871-6416  
FAX. 518-871-9468

DATE 11-30-00  
SCALE AS NOTED  
REVISIONS

ADDITION AND RENOVATIONS AT  
PSI UPSILON FRATERNITY  
2140 BURDETT AVENUE TROY NEW YORK

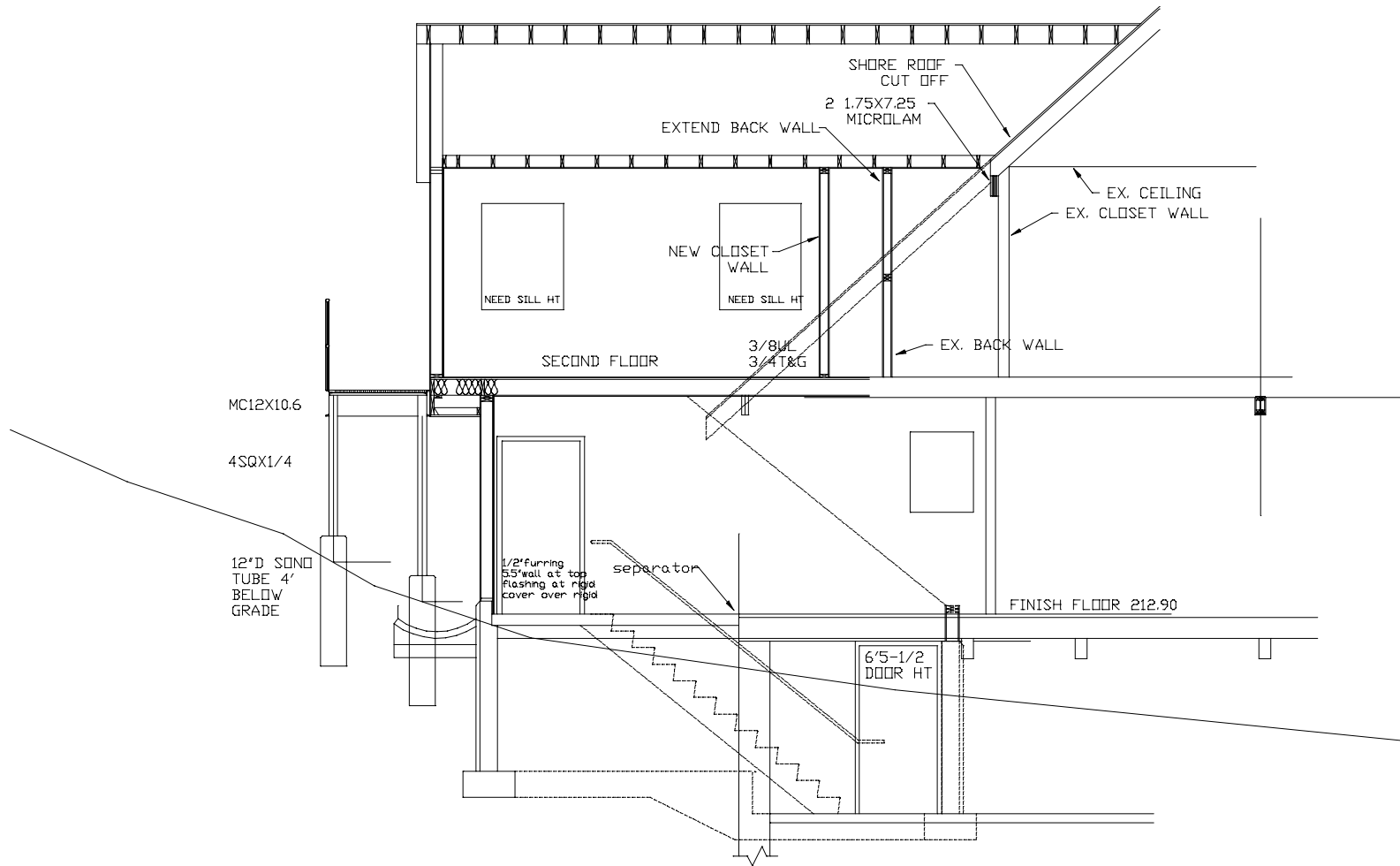
A-3

ADDITION ELEVATIONS



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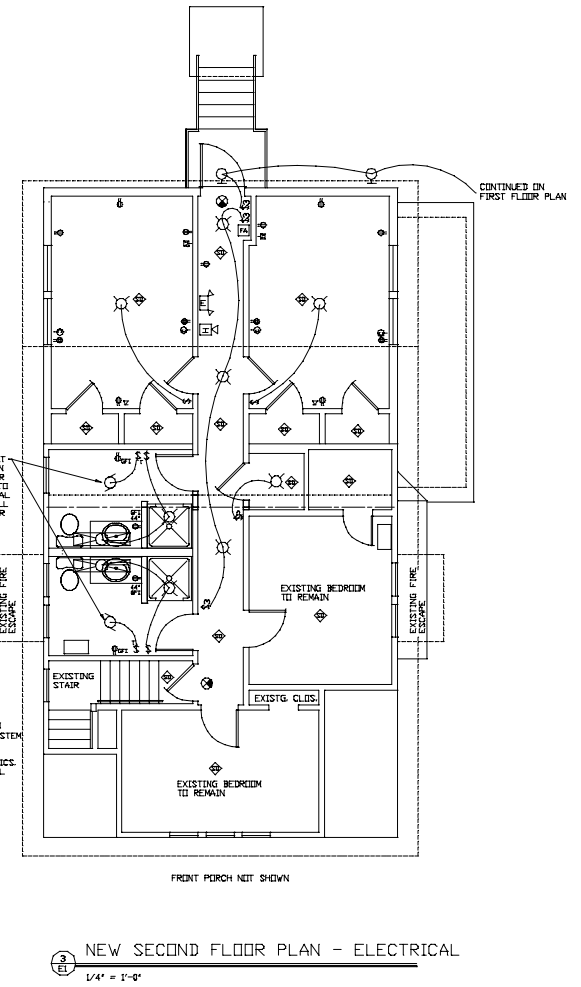
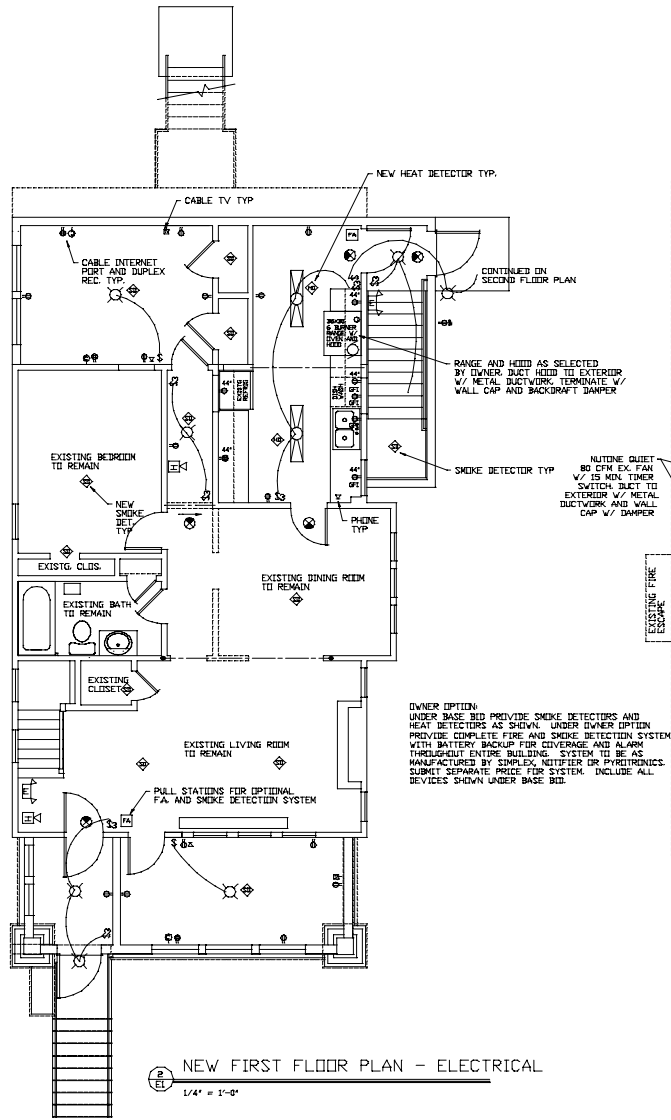
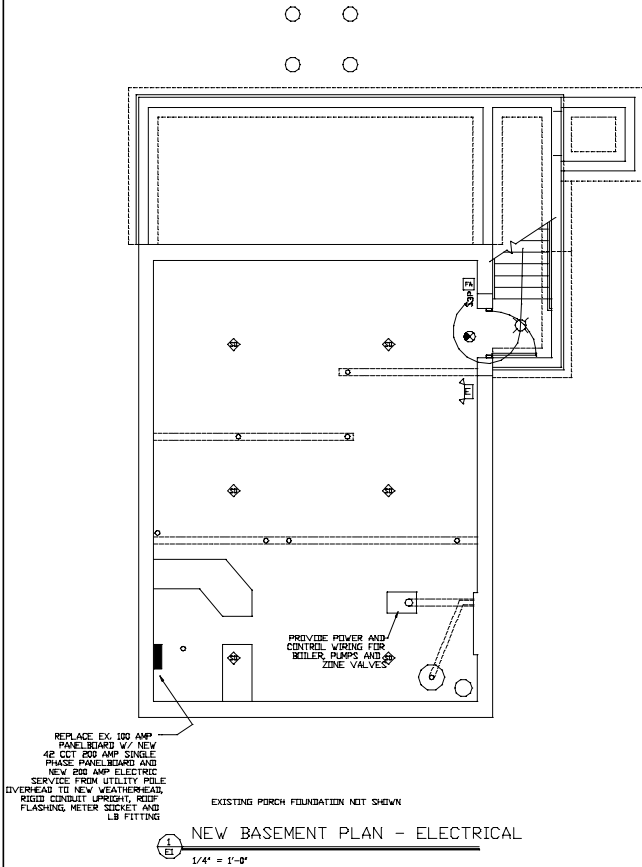
<b>E.S. FINKLE          ARCHITECT</b> 89 FIFTH STREET TRYON NY 12180 PH: 518-271-5416 FAX: 518-271-9168	DATE 11.30.00 SCALE AS NOTED REVISIONS	ADDITION AND RENOVATIONS AT <b>PSI UPSILON FRATERNITY</b> 2140 BURDETT AVENUE TRYON NEW YORK	A-4
	TRANSVERSE SECTION AT ADDITION		



① LONGITUDINAL SECTION AT ADDITION  
 1/2" = 1'-0"

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	SCALE AS NOTED		

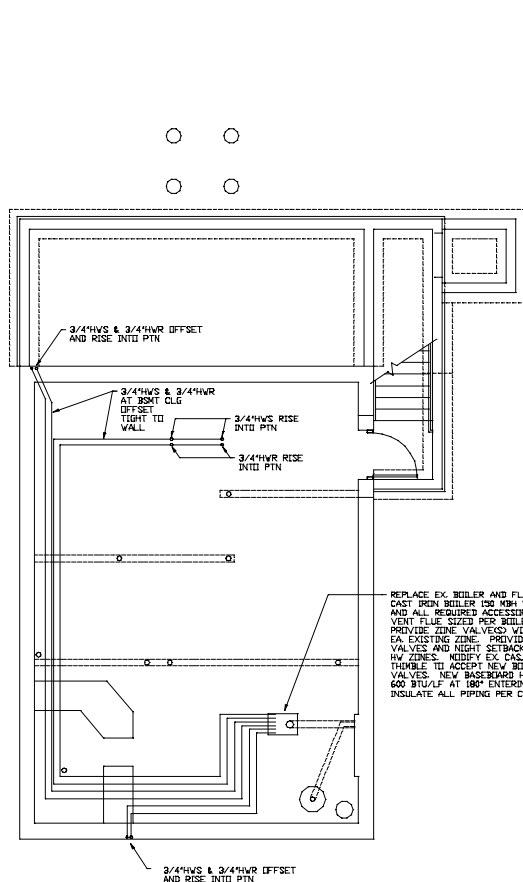


OWNER OPTION:  
 UNDER BASE BID PROVIDE SMOKE DETECTORS AND HEAT DETECTORS AS SHOWN. UNDER OWNER OPTION PROVIDE COMPLETE FIRE AND SMOKE DETECTION SYSTEM WITH BATTERY BACKUP FOR COVERAGE AND ALARM THROUGHOUT ENTIRE BUILDING. SYSTEM TO BE AS MANUFACTURED BY SIMPLEX, NUTLINE OR PYRINTRONICS. SUBMIT SEPARATE PRICE FOR SYSTEM. INCLUDE ALL DEVICES SHOWN UNDER BASE BID.

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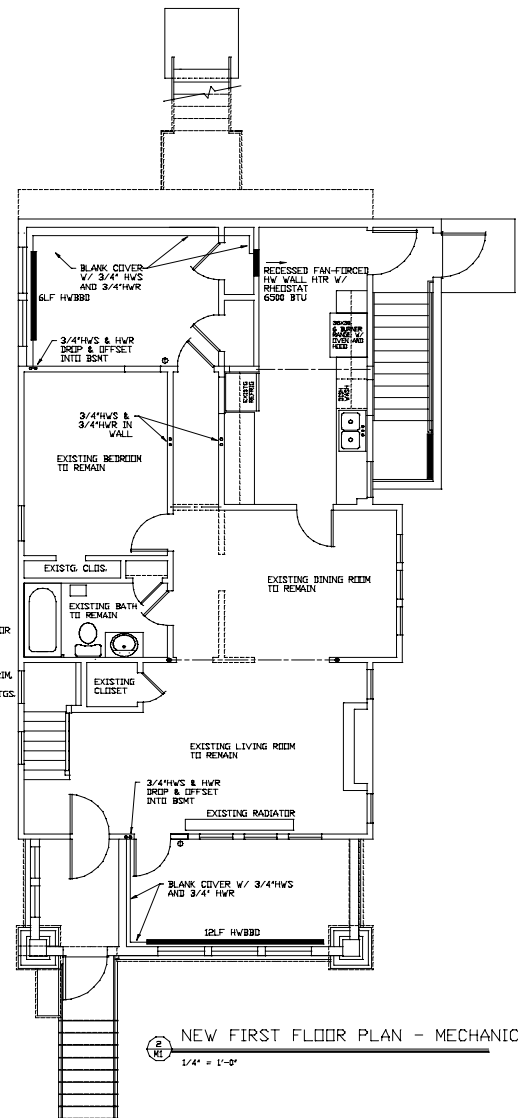
<b>E.S. FINKLE ARCHITECT</b> 89 FOURTH STREET TROY NY 12180 PH. 518-271-6416 FAX. 518-271-9162	DATE 11-30-00 SCALE AS NOTED REVISIONS	ADDITION AND RENOVATIONS AT <b>PSI UPSILON FRATERNITY</b> 2140 BURDETT AVENUE TROY NEW YORK	<b>E-1</b>
	ELECTRICAL FLOOR PLANS		



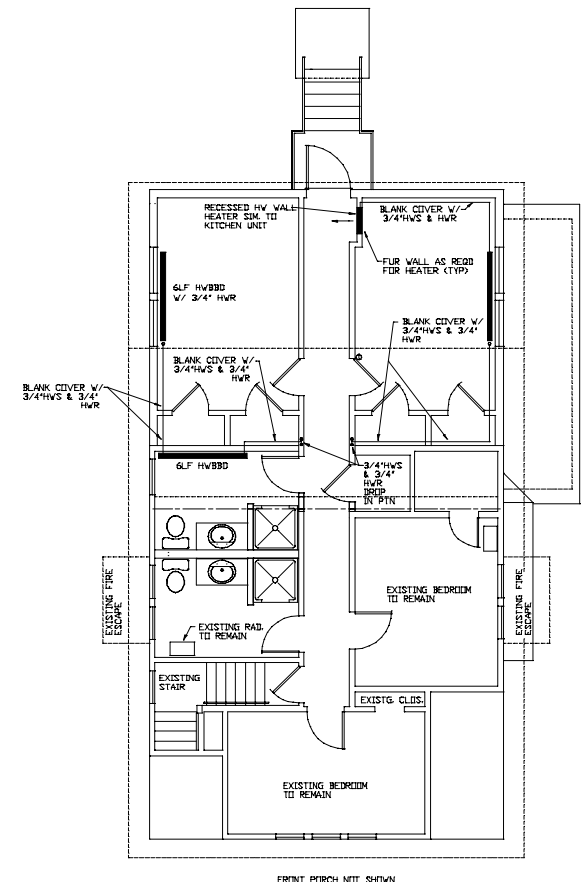


REPLACE EX. BOILER AND FLUE W/ NEW VEIL-MCLAIN CAST IRON BOILER 150 MBH V/ CIRCULATING PUMP AND ALL REQUIRED ACCESSORIES. PROVIDE NEW TYPE B VENT FLUE SIZED PER BOILER MFR RECOMMENDATIONS. PROVIDE ZONE VALVES W/SD TO EX. THERMOSTATS FOR EA. EXISTING ZONE. PROVIDE 2 NEW ZONES W/ ZONE VALVES AND NIGHT SETBACK THERMOSTATS FOR NEW HW ZONES. ADJUST EX. GAS ELECTRIC AND CHIMNEY THIMBLE TO ACCEPT NEW BOILER PUMP AND ZONE VALVES. NEW BASEBOARD HEAT VEIL-MCLAIN THERMA TRIM 600 BTU/LF AT 180° ENTERING WATER TEMP. INSULATE ALL PIPING PER CODE. PROVIDE PREMOULDED FTGS.

EXISTING PORCH FOUNDATION NOT SHOWN  
**1** NEW BASEMENT PLAN - MECHANICAL  
 1/4" = 1'-0"



**2** NEW FIRST FLOOR PLAN - MECHANICAL  
 1/4" = 1'-0"



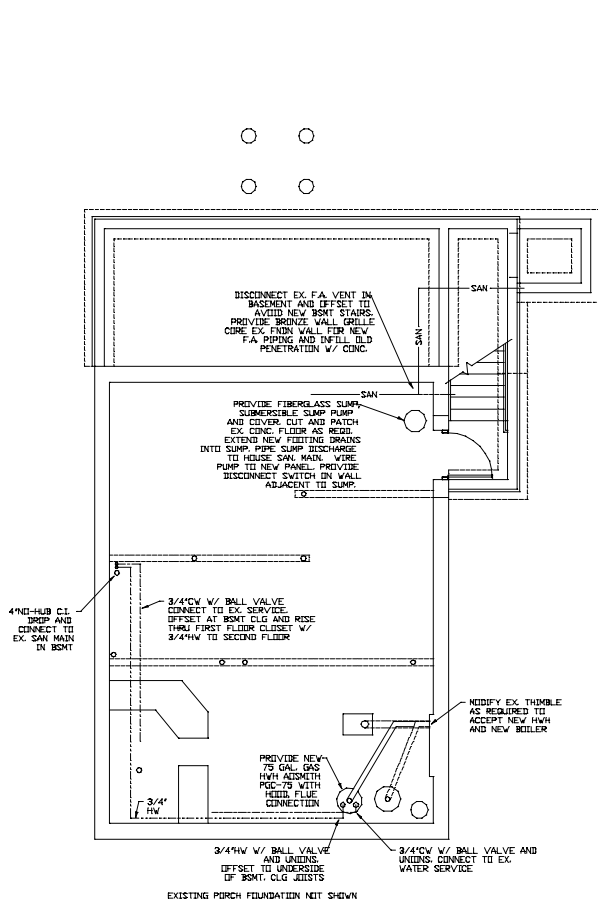
**3** NEW SECOND FLOOR PLAN - MECHANICAL  
 1/4" = 1'-0"

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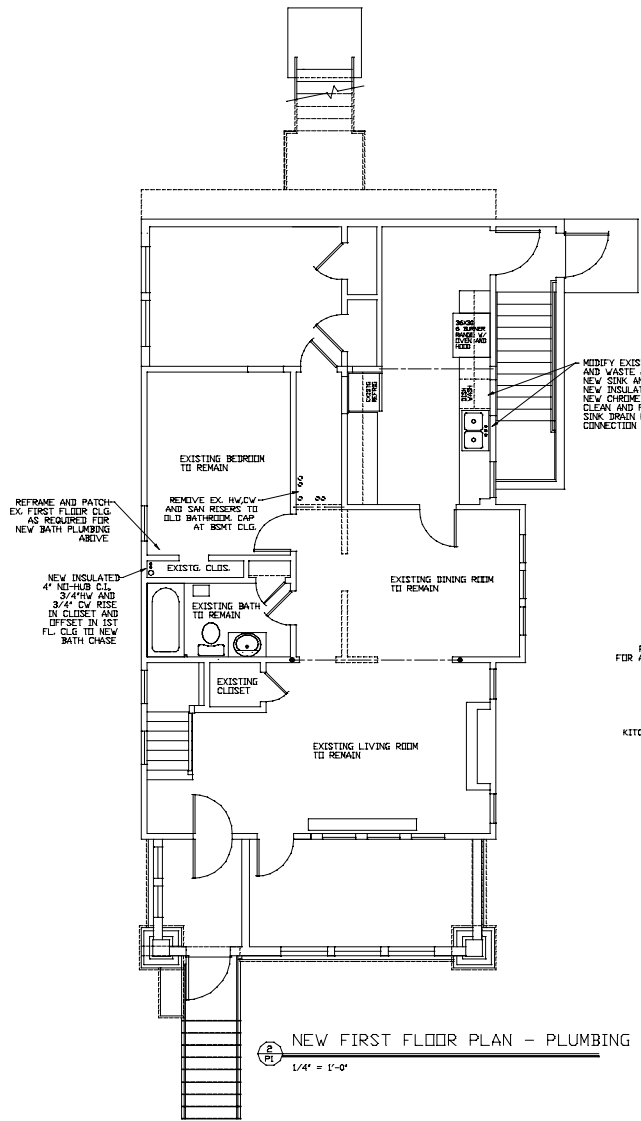
DATE 11-30-00  
 SCALE AS NOTED  
 REVISIONS

ADDITION AND RENOVATIONS AT  
**PSI UPSILON FRATERNITY**  
 2140 BURDETT AVENUE TROY NEW YORK  
 MECHANICAL FLOOR PLANS



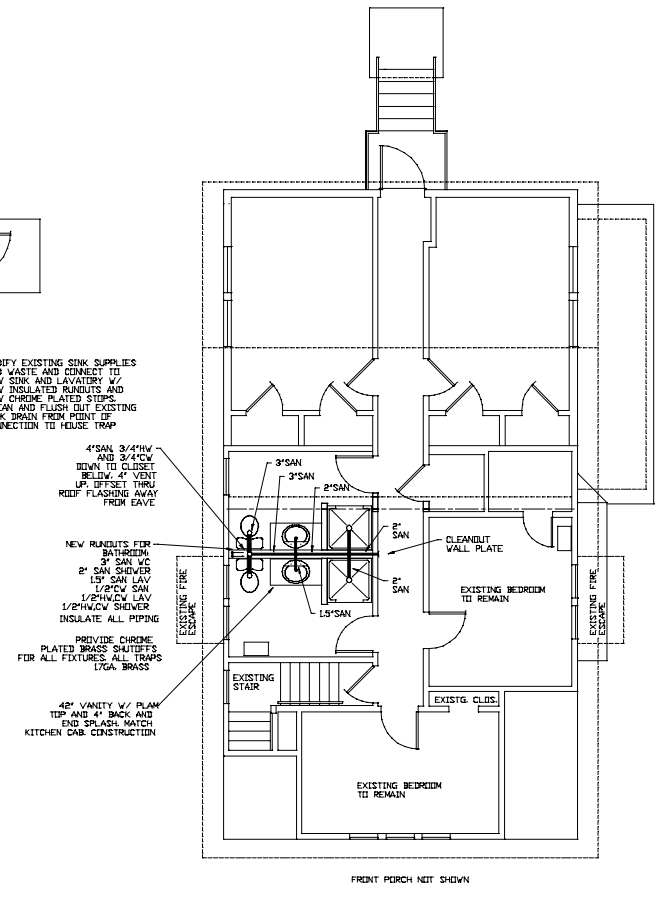
1 PL NEW BASEMENT PLAN - PLUMBING

1/4" = 1'-0"



2 PL NEW FIRST FLOOR PLAN - PLUMBING

1/4" = 1'-0"



3 PL NEW SECOND FLOOR PLAN - PLUMBING

1/4" = 1'-0"

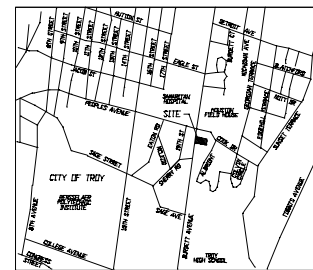
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 TROY NY 12180  
 PH. 518-871-6416  
 FAX. 518-871-9168

DATE 11-30-00  
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ADDITION AND RENOVATIONS AT  
 PSI UPSILON FRATERNITY  
 2140 BURDETT AVENUE TROY NEW YORK  
 PLUMBING FLOOR PLANS

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Lands N/F of  
Rensselaer Polytechnic Institute  
L. 1105 P. 516



SITE LOCATION - N.T.S.

LEGEND

- EDGE OF STREAM
- CONC. WALK
- GUY WIRE
- FENCE
- GLIDE RAIL
- OPEN WIRE FENCE
- PROPERTY CORNER
- ROAD SIGN
- UTILITY POLE
- OVERHEAD ELECTRIC
- PROPERTY LINE
- CONCRETE BRICK SET CURB
- LIGHT POLE
- MANHOLE W/OP
- WATER VALVE (WV)

NOTES: I. THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION. II. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. III. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA PROVIDED TO THE ARCHITECT.

Area = 11,625± SF

MAP REFERENCES

1. SUBDIVISION MAP OF PART OF THE WESSER WARREN ESTATE IN THE WASHINGTON TOWNSHIP OF THE CITY OF TROY, NY, PREPARED BY F.L. WESSER, C.E. DATED OCTOBER 1, 1909 AND FILED IN THE RENSSELAER COUNTY CLERK'S OFFICE BY DEWEY B. DE WITT.
2. RENSSELAER COUNTY TAX MAP SECTION 26-48

DEED REFERENCES

1. RENSSELAER POLYTECHNIC INSTITUTE TO PSI UPSILON ALMA MATER ASSOCIATION OF TROY, NEW YORK, INC. DATED FEBRUARY 11, 1988 AND FILED IN BOOK 448 OF DEEDS AT PAGE 608

NOTES

1. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.
2. SUBJECT TO ANY EASEMENTS AND/OR UNDERGROUND UTILITIES OF RECORD.
3. UTILITIES SHOWN ARE FROM RECORD DATA OBTAINED FROM THE LOCAL JURISDICTIONS PRIOR TO ANY UTILIZATION OF THE INFORMATION SHOWN HEREON. (2-DIM. ONLY) BE NOTICED (2-DIM. ONLY) FOR THE VERIFICATION OF ANY AND ALL SUCH UTILITIES.
4. ELEVATION DATA SHOWN WAS ASSUMED WITH BENCHMARK IN PILE # 20847

NOTE: SURVEY INFORMATION TAKEN FROM MAP NO. 200009 TITLED "SURVEY OF LANDS OF PSI UPSILON ALMA MATER ASSOC. OF TROY, NY, INC." DATED MARCH 5, 2000 AS PREPARED BY BRIAN R. HELLMEYER P.L.S.

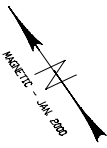
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Lands N/F of  
Dormitory Authority  
L. 1145 P. 425

Lands N/F of  
Samaritan Hospital  
L. 1655 P. 133

SITE PLAN

1" = 10'-0"



E.S. FINKLE  
ARCHITECT  
89 FOURTH STREET  
TROY NY 12180  
PH: 518-271-6416  
FAX: 518-271-9162

DATE 11.30.00  
SCALE AS NOTED  
REVISIONS  
12600 CORRECTED SITE AREA

ADDITION AND RENOVATIONS AT  
PSI UPSILON FRATERNITY  
2140 WESTERN AVENUE TROY NEW YORK

S-1

SITE PLAN